

**GENERAL:**

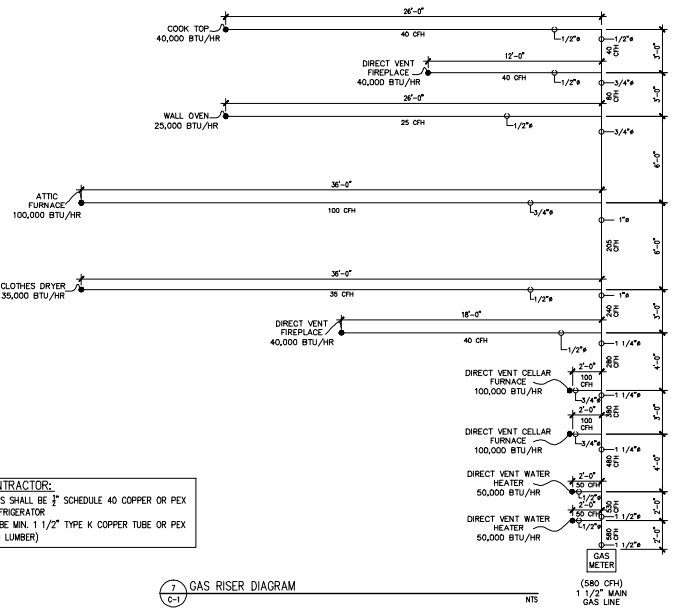
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

**PLUMBING:**

1. INSTALLATION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**PLUMBING NOTES TO CONTRACTOR:**

- 1) ALL NEW WATER SUPPLY LINES SHALL BE 1/2" SCHEDULE 40 COPPER OR PEX
- 2) PROVIDE WATER LINE FOR REFRIGERATOR
- 3) SIZE OF WATER MAIN SHALL BE MIN 1 1/2" TYPE K COPPER TUBE OR PEX (TO BE VERIFIED BY LICENSED PLUMBER)



1 GAS RISER DIAGRAM

**DOORS:**

1. ALL DOOR THRESHOLDS SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**MOISTURE PROTECTION:**

1. ALL MOISTURE PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**DEMOLITION:**

1. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**DRYWALL & CAVITY ASSEMBLIES:**

1. ALL DRYWALL SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. ALL DRYWALL SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**FINISHES:**

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**ELECTRICAL:**

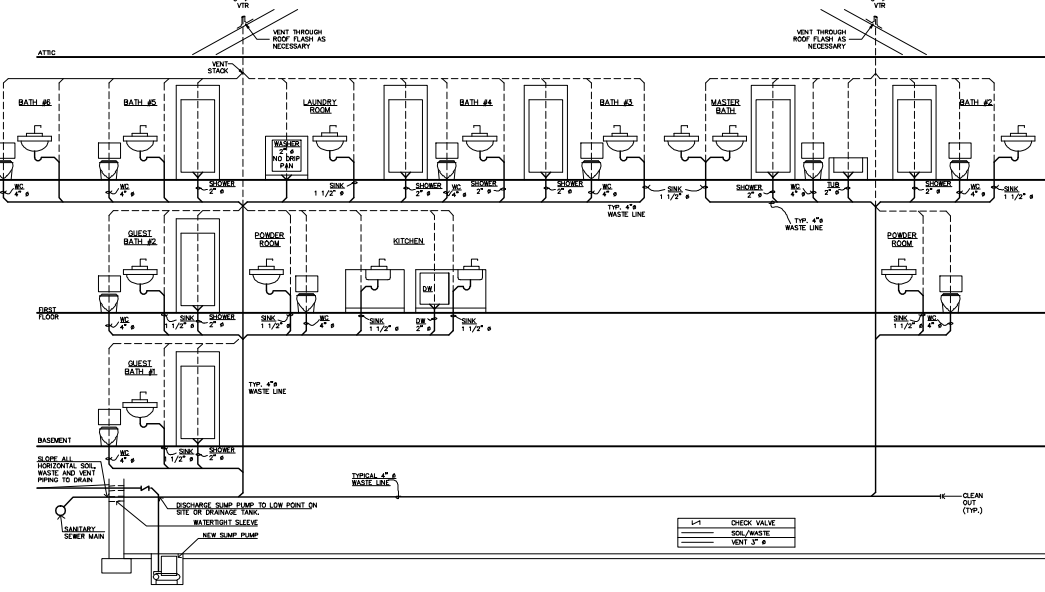
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**SOIL BEARING CAPACITY:**

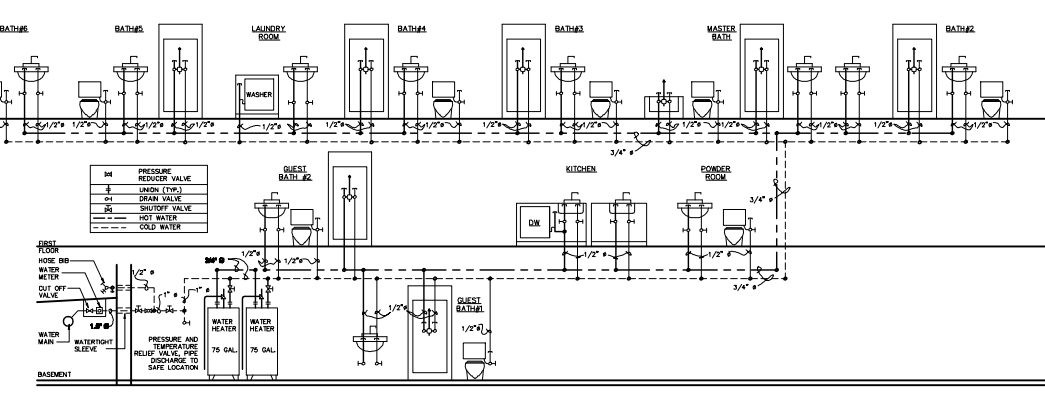
1. ALL SOIL BEARING CAPACITY SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
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**CODES REFERENCED:**

- 1. LOCAL BUILDING CODES & ORDINANCES
- 2. INTERNATIONAL RESIDENTIAL CODE
- 3. INTERNATIONAL MECHANICAL CODE
- 4. INTERNATIONAL PLUMBING CODE
- 5. INTERNATIONAL ELECTRICAL CODE
- 6. INTERNATIONAL FIRE CODE
- 7. INTERNATIONAL ENERGY CODE
- 8. INTERNATIONAL SWEET'S CATALOG
- 9. INTERNATIONAL SOIL & FOUNDATION CODE
- 10. INTERNATIONAL WOOD PRESERVATION CODE



2 PLUMBING WASTE RISER DIAGRAM



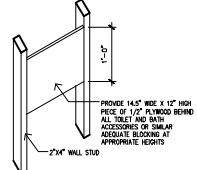
3 PLUMBING SUPPLY RISER DIAGRAM

**BATHROOM GYPSUM WALLBOARD NOTE TO CONTRACTOR:**

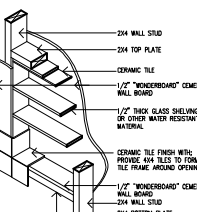
\*R307.2 AND 702.4.2  
BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. EXAMPLE OF SUCH MATERIAL IS GREEN BOARD.

**DRAFTSTOPPING NOTE TO CONTRACTOR:**

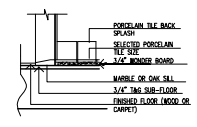
\*R502.12...DRAFTSTOPPING REQUIREMENT.  
WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:  
1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING  
2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB OR PERFORATED MEMBERS.



4 ACCESSORY BLOCK DETAIL



5 (OPTIONAL) SHOWER SHELF DETAIL



6 CERAMIC TILE DETAIL

SCHEDULE OF AREA, YARD AND BUILDING REQUIREMENTS MILLIS/TOWNSHIP					
DISTRICT ID#	MIN. LOT REQUIREMENTS	LOT AREA(S) (SQ FT)	SOLID	DEVELOP	PROPOSED
RESIDENTIAL	RESIDENTIAL BUILDINGS	MIN. ONE SIDE YARD	14'0" x 10'	14'0" x 10'	14'0" x 10'
		FRONT YARD (FT)	5'0"	5'0"	5'0"
MAX. BUILDING COVERAGE (%)	MAXIMUM PERCENT F.T.C. STORIES	MIN. ONE SIDE YARD	14'0" x 10'	14'0" x 10'	14'0" x 10'
		FRONT YARD (FT)	5'0"	5'0"	5'0"
MAX. LOT COVERAGE	FLOOR AREA/RATIO	MIN. ONE SIDE YARD	14'0" x 10'	14'0" x 10'	14'0" x 10'
		FRONT YARD (FT)	5'0"	5'0"	5'0"
USE GROUP	CONSTRUCTION CLASS	MIN. ONE SIDE YARD	14'0" x 10'	14'0" x 10'	14'0" x 10'
		FRONT YARD (FT)	5'0"	5'0"	5'0"

- NOTES:**
1. ALL LUMBER SHALL BE DOUGLAS FIR #2.
  2. ALL TRIM SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
  3. LOCATE SMOKE DETECTORS IN ALL BEDROOM, HALLWAY AREA OUTSIDE OF BEDROOMS WITHIN 10 FT. AT THE BOTTOM OF EVERY STAIRCASE, AND IN FINISHED ATTIC. SMOKE DETECTORS SHALL BE HARNOWED BY BATTERY BACKUP HOUSE IS MORE THAN OR EQUAL TO 20% OF LARGEST FLOOR AREA.
  4. CARBON MONOXIDE DETECTORS SHALL BE LOCATED OUTSIDE OF ALL SLEEPING ROOMS WITHIN A DISTANCE OF 10 FEET.

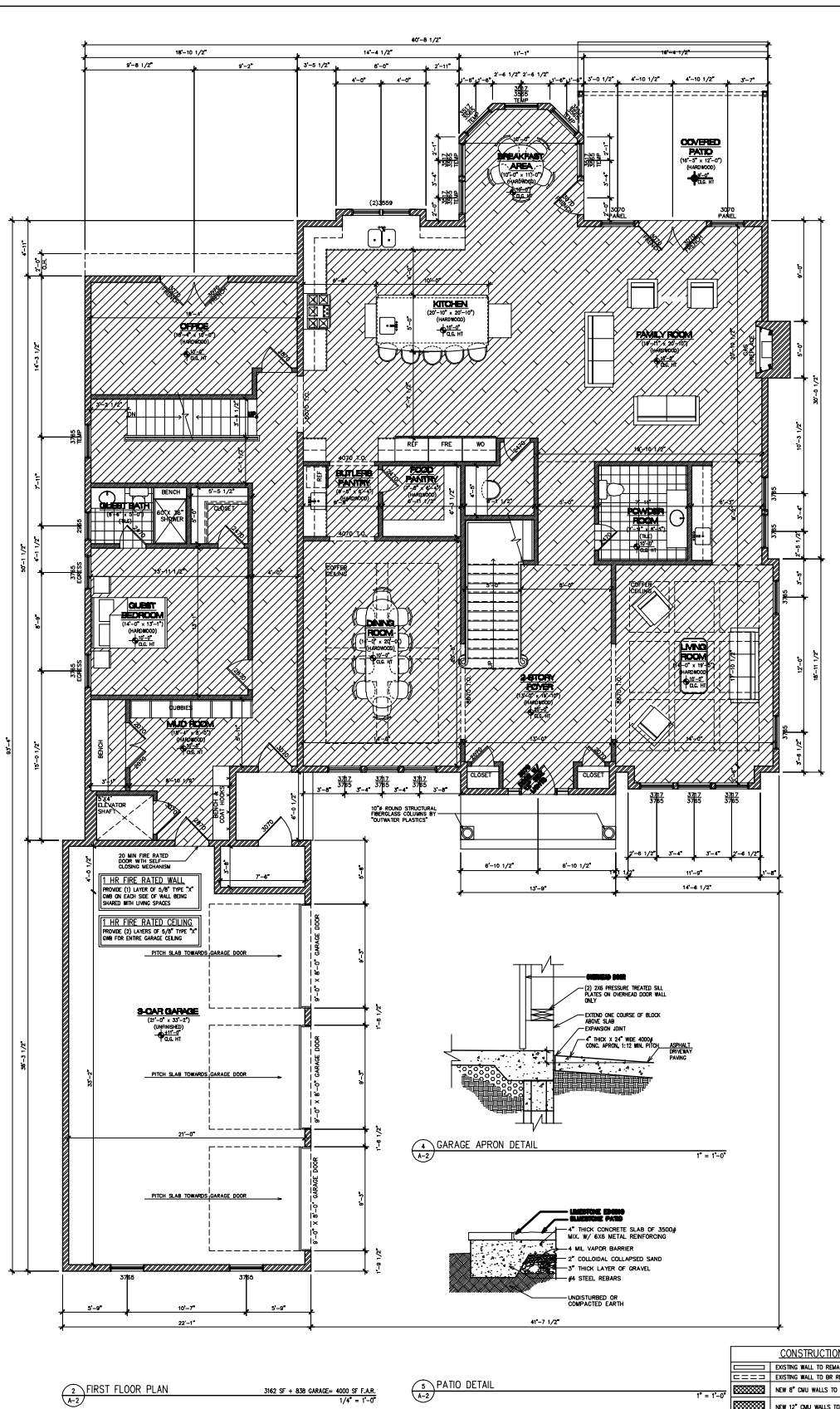
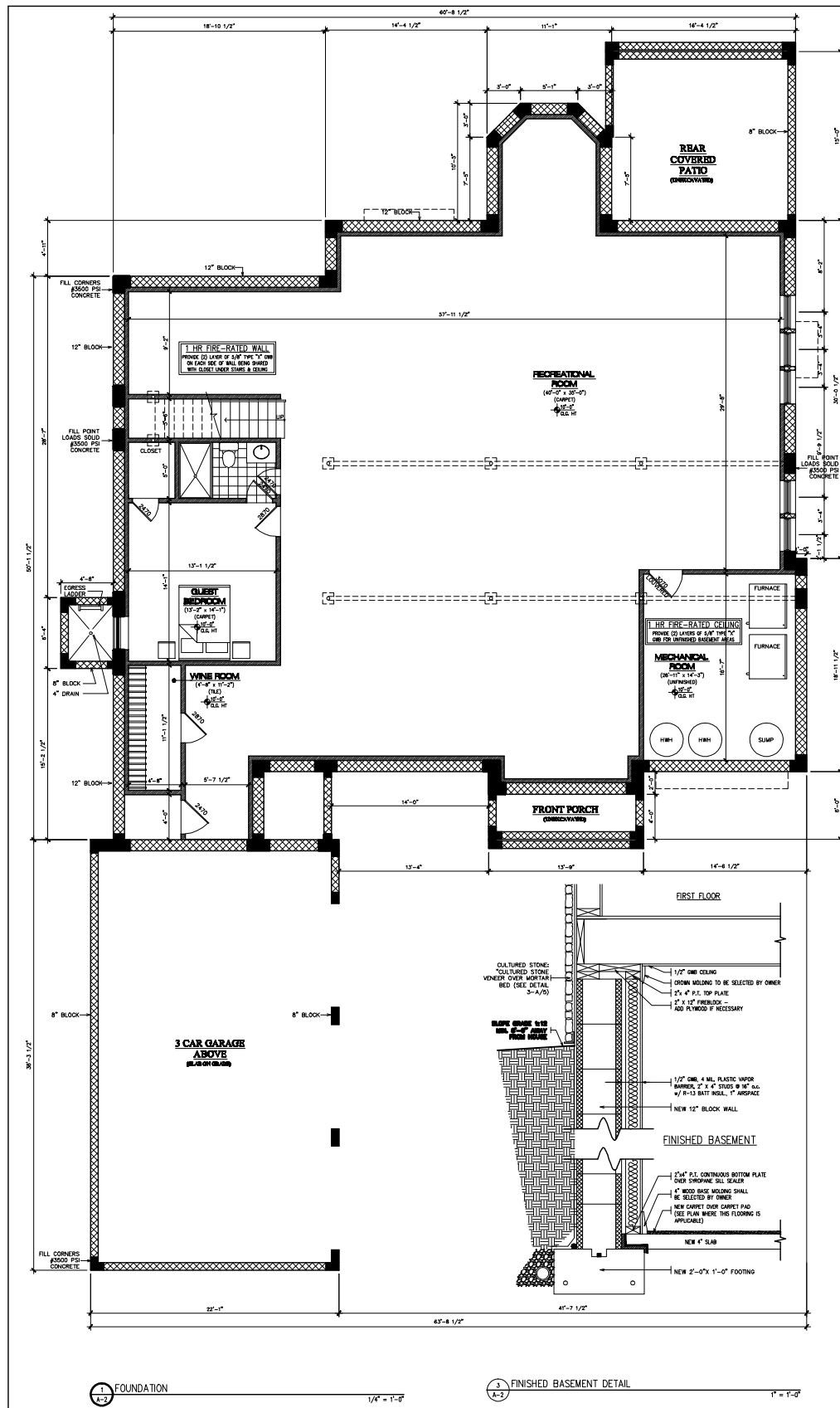
**DESIGN LOADS**

DECK LOAD	40 PSF	ROOF LOAD	20 PSF
WIND	AS PER ASSESSMENT	TRUCK LOAD	20 PSF

**SCOPE OF WORK:**  
PROFESSIONAL ARCHITECT'S FAMILY FRAMED DWELLING AS SHOWN IN THESE CONSTRUCTION DOCUMENTS.

REFERENCED CODE: IRC 2009-NJ EDITION

PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY STREET, SUITE 100, SHORT HILLS, NJ 07078  
 NEW HOUSE FOR:  
 DWG 15-041 OF 15  
 DATE: 10.08.2015  
 SCALE: AS NOTED  
 DWG. GEN. NOTES  
 JOB NO: 15-041  
 C-1



**CONSTRUCTION LEGEND**

[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING WALL TO BE REMOVED
[Symbol]	NEW 8" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 12" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 2-4" WALLS TO BE CONSTRUCTED, INSULATE WITH R-13 F. EXTERIOR
[Symbol]	NEW 2-4" WALLS TO BE CONSTRUCTED, INSULATE WITH R-19 F. EXTERIOR
[Symbol]	NEW 2-4" WOOD POST UNLESS OTHERWISE NOTED

**NOTES TO CONTRACTOR:**

- \* ALL DOORS SHALL BE 7'-0" HIGH ON 1ST FLOOR
- \* ALL WINDOW HEAD HEIGHTS SHALL BE 7'-0"
- \* ALL HEADERS TO BE 2-2X10 UNLESS OTHERWISE STATED
- \* ALL EGRESS WINDOWS MAX 44" FROM SLAB IN BASEMENT

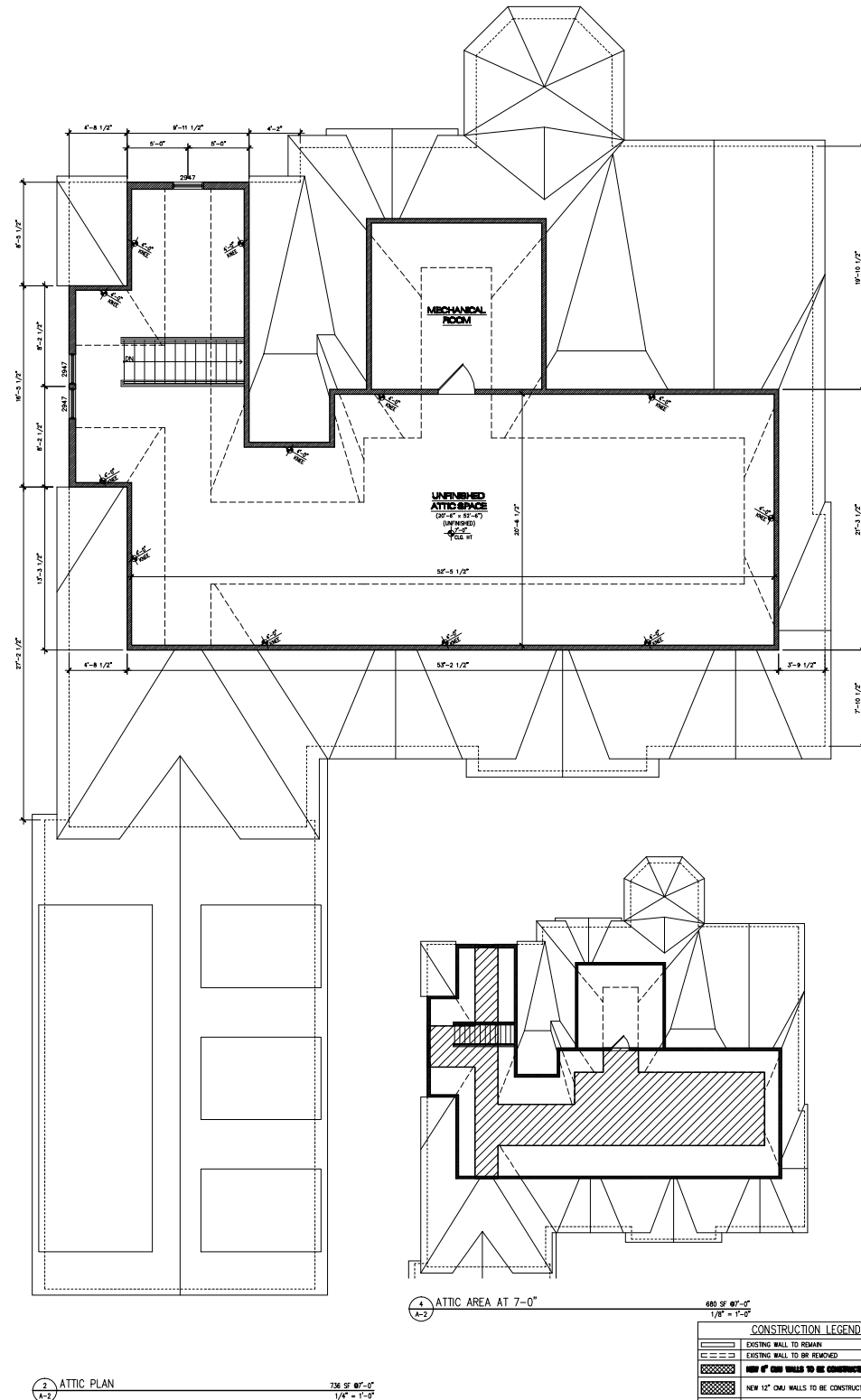
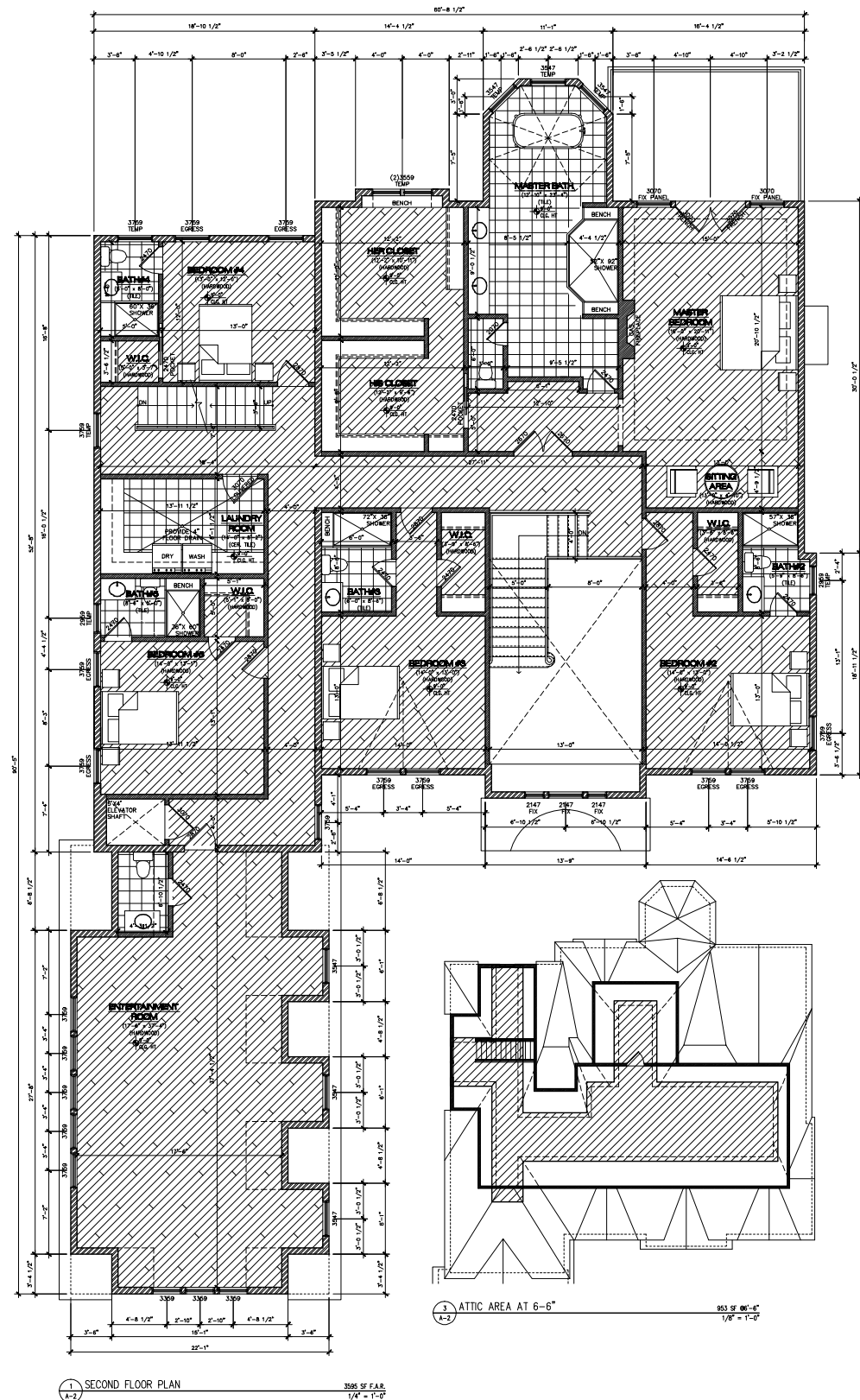
PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY CREEK DRIVE, SUITE 100, HICKORY CREEK, NJ 07934  
 PHONE: 908.486.1111 FAX: 908.486.1112  
 WWW.TBAOARCHITECT.COM

NEW HOUSE FOR:

DATE: 10.08.2015  
 SCALE: AS NOTED  
 SHEET: FLOOR PLANS  
 JOB NO: 15-041

**A-2**

DWG. 2 OF 19



**ATTIC SQUARE FOOTAGE:**  
 \* AREA ABOVE 6'-6" = 953 SF MAX (1797 = 3x3595)  
 \* AREA ABOVE 7'-0" = 680 SF MAX (1198 = 3x3595)

**HABITABLE ROOMS:**  
 \* FINISHED ATTIC - 680 SF ≥ 7'-0" / 1350 SF TOTAL=50.4%

CONSTRUCTION LEGEND	
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING WALL TO BE REMOVED
[Symbol]	NEW 1" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 12" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 2x4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-13 F. EXTERIOR
[Symbol]	NEW 2x4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-19 F. EXTERIOR
[Symbol]	NEW 2x4 WOOD POST UNLESS OTHERWISE NOTED

**NOTES TO CONTRACTOR:**  
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PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7

**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY CREEK DRIVE  
 HICKORY CREEK, NEW JERSEY 07934  
 TEL: 908.486.8800 FAX: 908.486.8801

NEW HOUSE FOR:

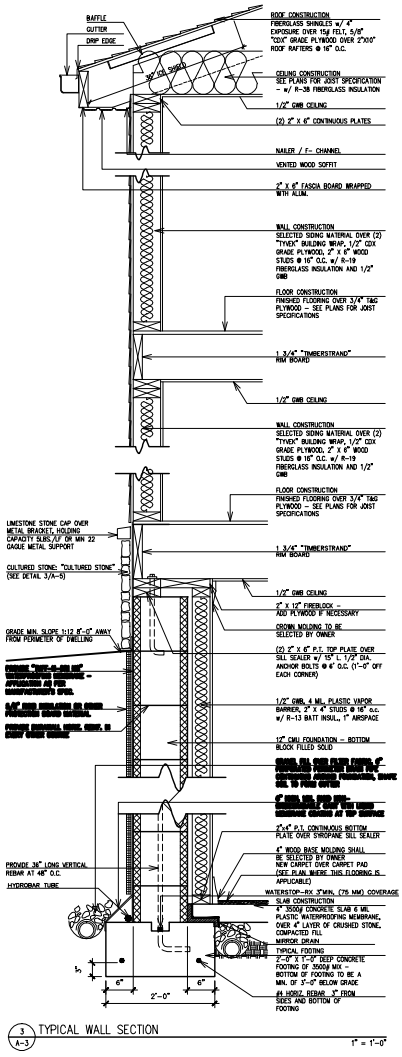
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 SCALE: AS NOTED  
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**A-2**

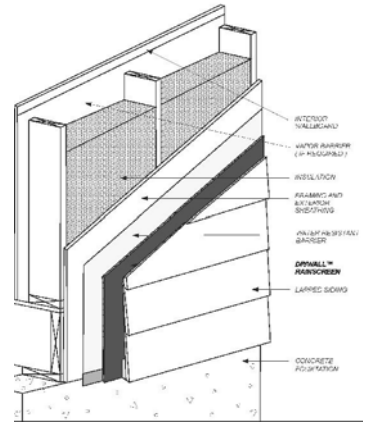
DWG 2 OF 12

**GUTTERS NOTE TO CONTRACTOR:**  
 ALL GUTTERS AND LEADERS SHALL BE 6" AND DIRECTED TO A SUBTERRANEAN DRAIN; CONTRACTOR SHALL USE 6" SCHEDULE 40 PVC FOR DRAIN PIPE.

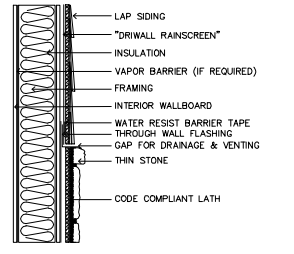
**WINDOWS NOTE TO CONTRACTOR:**  
 1. ALL WINDOWS ARE PELLA ARCHITECT SERIES  
 2. ALL "EGRESS" LABELED WINDOWS SHALL MEET EGRESS REQUIREMENTS  
 3. TEMPERED GLASS SHALL BE PROVIDED ON ALL WINDOWS FACING TUBS, JACUZZIS, OR ANY WINDOW WITH SILL HEIGHTS LESS THAN 18"



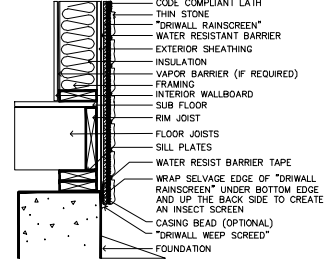
1 TYPICAL WALL SECTION 1" = 1'-0"



2 RAIN SCREEN AXON DETAIL NT



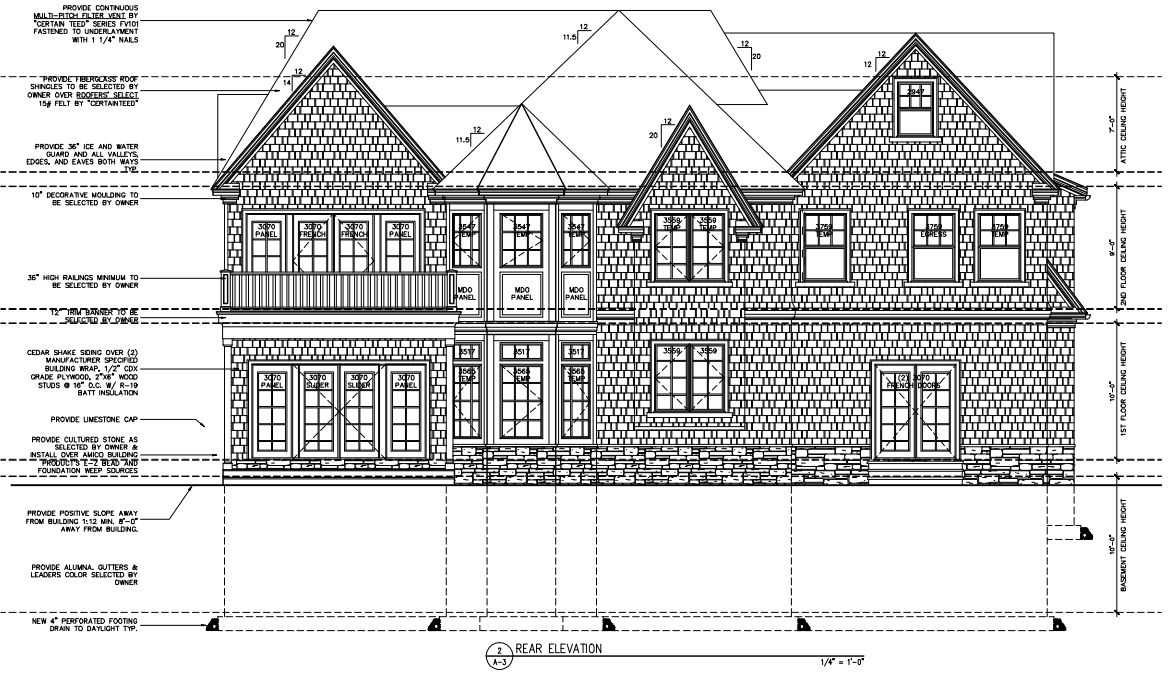
3 STONE TO LAP SIDING TRANSITION DETAIL 1 1/2" = 1'-0"



4 STONE AT BASE DETAIL 1 1/2" = 1'-0"



1 FRONT ELEVATION 1/4" = 1'-0"



2 REAR ELEVATION 1/4" = 1'-0"

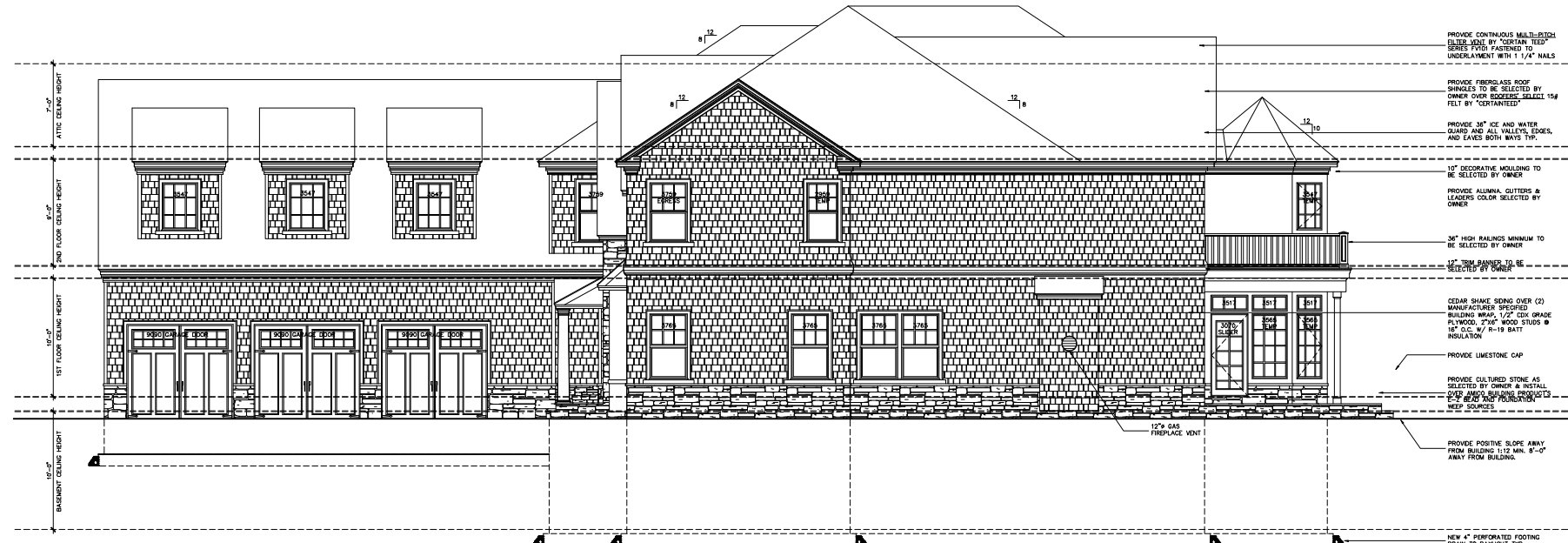
PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY AVENUE  
 NEW JERSEY 07078  
 NEW HOUSE FOR:  
 DATE: 10.08.2015  
 SCALE: AS NOTED  
 DWG: ELEVATIONS  
 JOB NO: 15-041  
 A-3  
 DWG 8 OF 19

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**STUCCO AND ADHERED VENEER STONE OVER SHEATHING BUILDER'S GUIDE:**

- \*2009 EXTERIOR PLASTER IRC CODE ITEMS TO BE DONE:
- FLASHING SHALL BE INSTALLED PER CODE. \*WINDOWS AND DOOR FLASHING SHALL BE INSTALLED PER MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS AND LEFT IN A WAY TO INTEGRATE THE FLASHING PROPERLY WITH THE WATER RESISTIVE BARRIER. \*DRIP FLASHING SHALL BE PLACED OVER TOP OF THE WINDOWS WITH THE WATER RESISTIVE BARRIER LAPPING OVER THE LEG OF THE DRIP. \*KICK OUT FLASHING SHALL BE INSTALLED AT INTERSECTING SECTIONS OF THE ROOFLINE WHERE APPROPRIATE TO DIRECT WATER AWAY FROM THE WALL.
  - WATER RESISTIVE BARRIER - SHALL HAVE 2 LAYERS INSTALLED. MUST BE GRADE D (60 MINUTE RECOMMENDED) SUCH AS FORTIFIBER SUPER JUMBOTEX- TYVEK STUCCO WRAP. SUBSTITUTIONS CAN BE MADE PROVIDED A SPEC SHEET INDICATING THAT THE PRODUCT IS A GRADE D RATED MATERIAL. ASTM D226 FELTS ARE NOT TO BE USED.
  - \*\*\*KEENE RAINSCREEN 020-1 SHALL BE INSTALLED WITH THE FILTER FABRIC IN PLACE SO THAT IT STOPS THE SCRATCH COAT OF MORTAR FROM FILLING THE CAVITY. KEENE RAINSCREEN SHALL BE INSTALLED OVER THE WATER RESISTANT BARRIER AND FLASHINGS. AMICO E-Z BOARD/CASING BEADS AND VINYL EXPANSION JOINTS AND LATH SHALL ALL BE PLACED ON TOP OF THE RAINSCREEN. IF ONLY USING 1 LAYER OF WATER RESISTANT BARRIER MUST BE GRADE D 60 MINUTE RATED.
  - LATH- SHALL BE MINIMUM 2.5LB SELF FURRED LATH (CHECK VENEER MANUFACTURER RECOMMENDATIONS IF HEAVIER LATH IS NEEDED). MUST HAVE INDIVIDUAL STRAPPING FOR EACH BUNDLE WITH DOCUMENTATION THAT IT IS A 2.5 LB MATERIAL MEETING ASTM C847. SUCH AS AMICO 2.5LB LATH OR EQUIVALENT.
  - FOUNDATION WEEP SCREDS SHALL BE INSTALLED AT THE BOTTOM OF ALL STEEL AND WOOD FRAMED WALLS TO RECEIVE LATH AND PLASTER BELOW SILL PLATE, 4 INCHES ABOVE GRADE OR 2 INCHES ABOVE PAVED SURFACES. WATER RESISTIVE BARRIER SHALL LAP OVER THE ATTACHMENT FLANGE OF THE SCREED.
  - AMICO E-Z BEAD/CASING BEADS- E-Z BEAD SHALL BE USED WHERE ALL DISSIMILAR MATERIALS COME IN CONTACT, SUCH AS WINDOW JAMBS AND SILLS. WILL NOT BE USED OVER THE HEAD OF WINDOWS OR DOORS WHERE A DRIP EDGE IS IN PLACE. THE GROUND ON A 3-COAT STUCCO PROJECT SHALL BE 7/8" GROUND FOR \*\*\*VENEER STONE MINIMUM 1/2" OR MANUFACTURERS RECOMMENDATION. THE E-Z BEAD IS A READY TO CAULK MATERIAL ONCE INSTALLED. E-Z BEAD SHOULD BE USED AT THE INTERSECTION OF THE WALL/SOFFIT/RAKES AS WELL, AND WHEREVER STUCCO MEETS DISSIMILAR MATERIALS.
  - LATH SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS BUT SHALL BE STOPPED AND TIED AT EACH SIDE. VINYL EXPANSION AND CONTROL JOINTS SHALL NOT BE NAILED TO THE STRUCTURE. EXPANSION JOINTS ARE REQUIRED AT THE FLOOR LEVEL; RECOMMEND THE AMICO VINYL MID-WALL WEEP SCREED THAT PROVIDES FLASHING AND MOVEMENT WITHIN FLOORS. VINYL CONTROL JOINTS SHALL BE INSTALLED TO DELINEATE AREAS NOT MORE THAN 144SQ. FT. WALLS AND 100SQ FT. ON CEILING. THE DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FT IN EITHER DIRECTIONS OR A LENGTH TO WIDTH RATIO OF 2 1/2 TO 1. \*\*\*VENEER STONE CONTROL JOINTS TO BE DESIGNED BY ENGINEER.
  - LATH SHALL BE ATTACHED A MINIMUM 6 INCHES ON THE STUD. PENETRATION OF THE FRAMING MEMBER SHALL BE NOT LESS THAN 3/4"
  - STAPLES OR NAILS SHALL ENGAGE 3 STRANDS OF THE LATH
  - STUCCO SHALL BE SPECIFIED AS NATURAL TRADITIONAL STUCCO FINISH COAT SUCH AS QUAKER STUCCO MADE BY IPA SYSTEMS PHILA PA, OR AS SYNTHETIC STUCCO SUCH AS (CHOOSE). 3 COAT APPLICATION 3/8" SCRATCH MORTAR, 38" BROWN COAT MORTAR, 1/8" FINISH COAT. FULLY EMBED THE STUCCO SCRATCH COAT BEHIND AND INTO THE METAL LATH.
  - TEMPERATURES SHALL BE 40 DEGREES AND RISING FOR 24 HOURS.
  - FOLLOW ASTM C926 AND ASTM C1063 GUIDELINES.



3 RIGHT ELEVATION  
 1/4" = 1'-0"



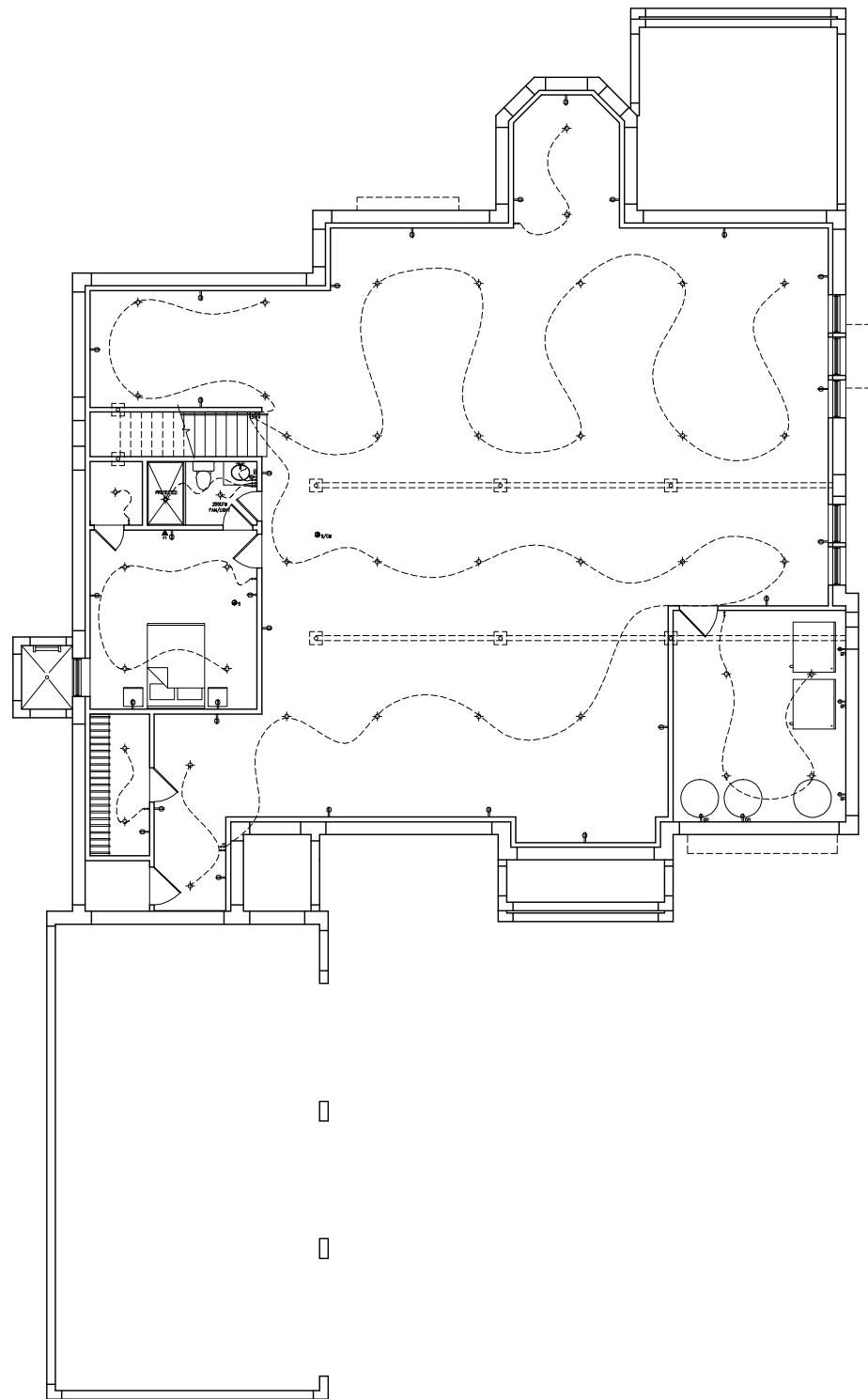
4 LEFT ELEVATION  
 1/4" = 1'-0"

PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
 THOMAS BAIO ARCHITECT P.C. AIA  
 400 WASHINGTON AVENUE  
 SUITE 100  
 NEW JERSEY 07070  
 TEL: 908.261.1111  
 FAX: 908.261.1112  
 WWW.TBAOARCHITECT.COM

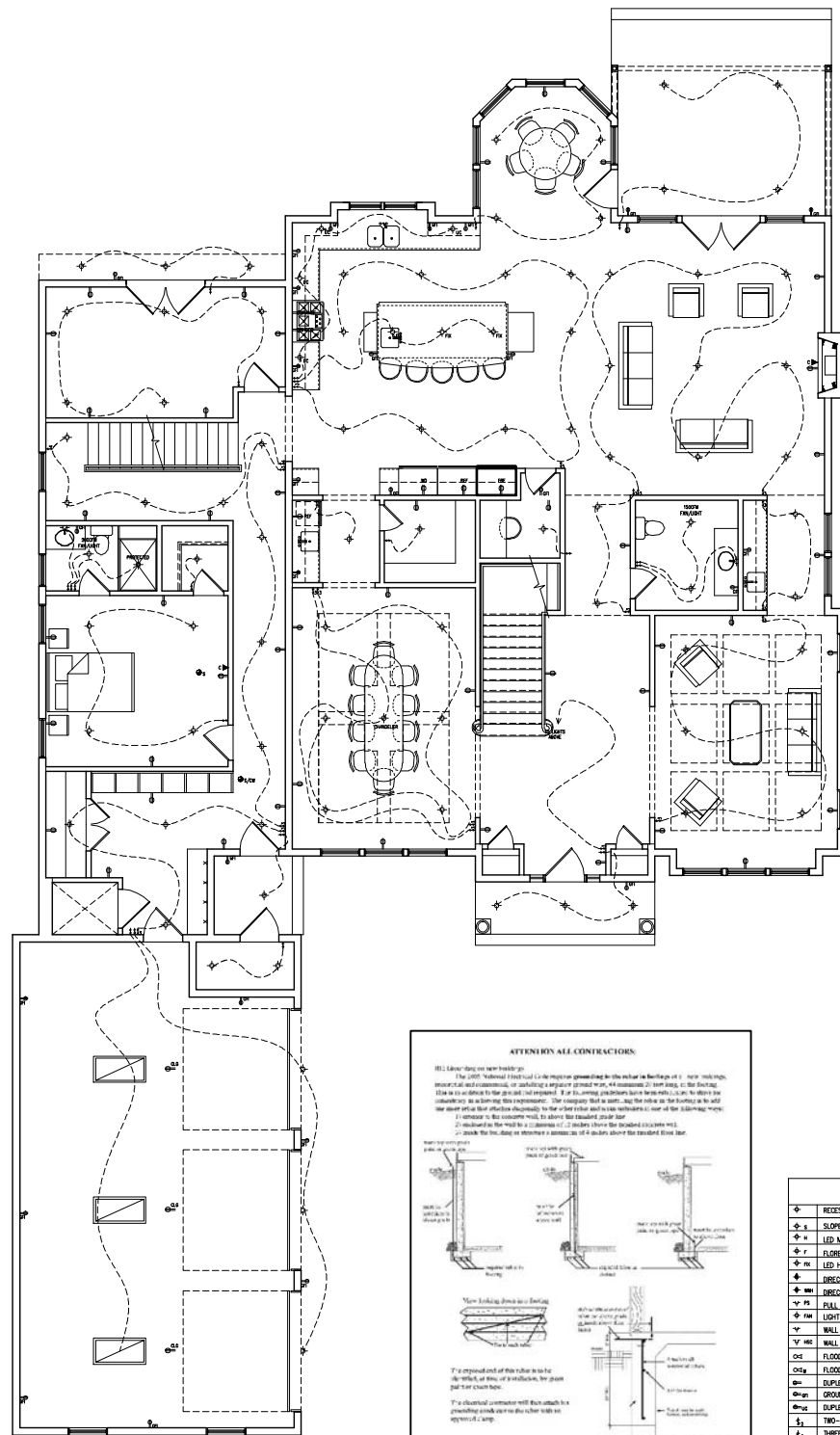
NEW HOUSE FOR:

CHECKED BY: KJS  
 DATE: 10.08.2015  
 SCALE: AS NOTED  
 DWG: ELEVATIONS  
 JOB NO: 15-041

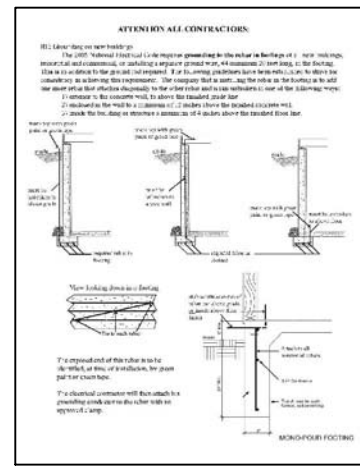
A-4  
 DWG 8 OF 19



1 FOUNDATION ELECTRICAL PLAN 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN 1/4" = 1'-0"



3 ELECTRICAL GROUNDING DETAIL NTS

**ELECTRICAL LEGEND**

◆	RECESSED CONTRAST LED LIGHTING
◆ 1	SLOPED CIG. LED M.T.D. ON CIG.
◆ 2	LED M.T.D. ON CIG.
◆ 3	FLOURESCENT M.T.D. ON CIG.
◆ 4	LED HANG FROM CIG.
◆ 5	DIRECTIONAL INDEPENDENT HIGH HMT. M.T.D. ON CIG.
◆ 6	DIRECTIONAL WALL WASH LED M.T.D. ON CIG.
◆ 7	FALL SPRING LIGHT M.T.D. ON CIG.
◆ 8	LIGHT WITH EXHIBIT FAN M.T.D. ON CIG.
◆ 9	WALL MOUNTED LED LIGHT FIXTURE
◆ 10	WALL MOUNTED HALOGEN
◆ 11	FLOOD LIGHT
◆ 12	FLOOD LIGHT W/ MOTION SENSOR
◆ 13	DUPLEX RECEPTACLE OUTLET M.T.D. 18" A.F.F.
◆ 14	GROUND FAULT CIRCUIT INTERRUPTER
◆ 15	DUPLEX RECEPTACLE OUTLET M.T.D. UNDER COUNTER
◆ 16	TWO-POLE SINGLE THROW TOGGLE SWITCH M.T.D. 42" A.F.F.
◆ 17	THREE WAY SWITCH M.T.D. 42" A.F.F.
◆ 18	FOUR WAY SWITCH M.T.D. 42" A.F.F.
◆ 19	CABLE TV JACK
◆ 20	TELEPHONE JACK LINE 1
◆ 21	TWISTED PAIR CAT 6a
◆ 22	HOSE BIB
◆ 23	SMOKE DETECTOR
◆ 24	CARBON MONOXIDE DETECTOR

**CONSTRUCTION LEGEND**

---	EXISTING WALL TO REMAIN
- - -	EXISTING WALL TO BE REMOVED
▨	NEW 8" CMU WALLS TO BE CONSTRUCTED
▩	NEW 12" CMU WALLS TO BE CONSTRUCTED
▧	NEW 2-4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-13 F. EXTERIOR
▦	NEW 2-4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-19 F. EXTERIOR
▤	NEW 2-4 WOOD POST UNLESS OTHERWISE NOTED

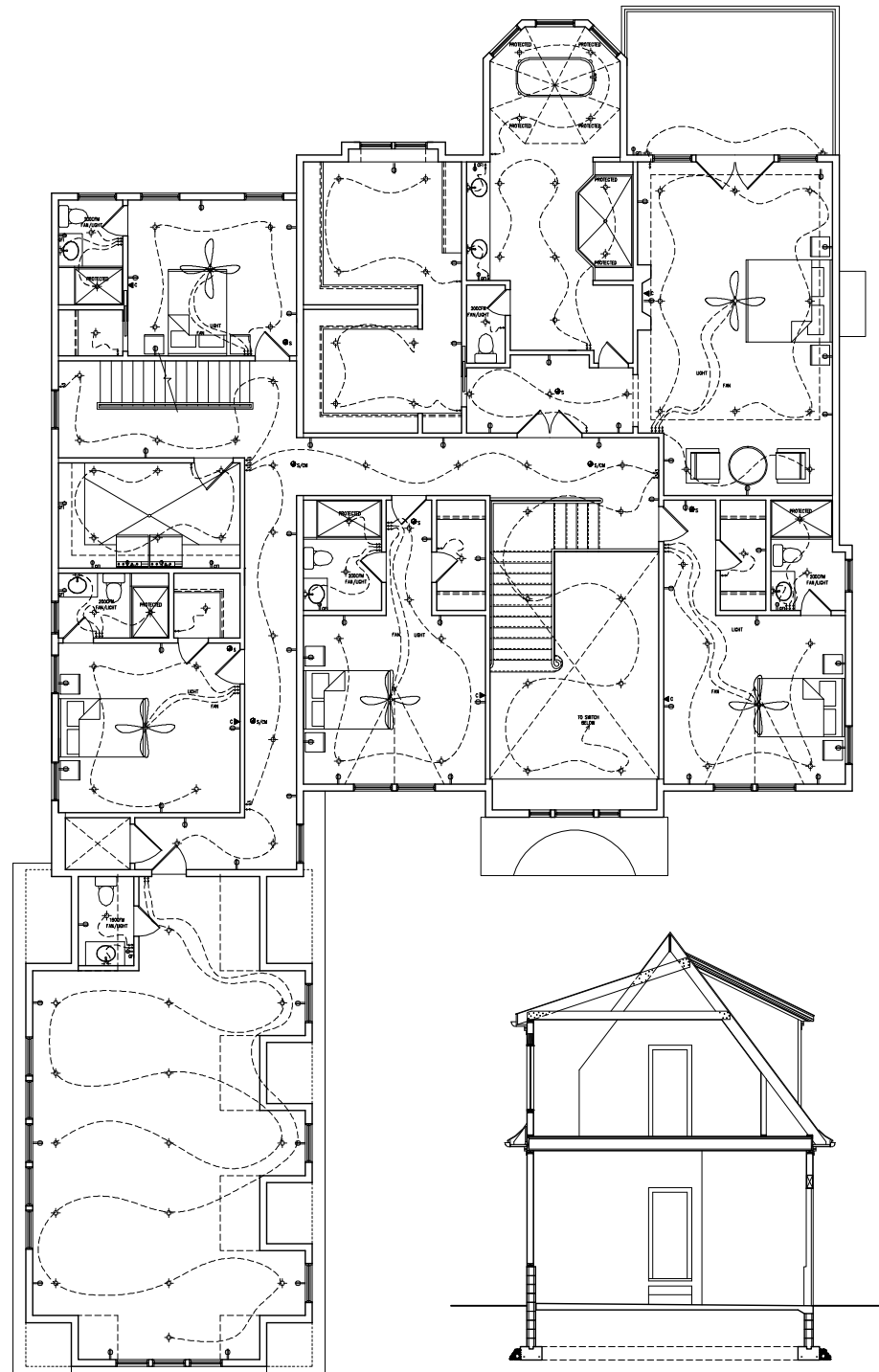
PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY AVENUE  
 SUITE 100  
 HICKORY, NJ 07901  
 TEL: 908.526.1111  
 WWW.TBAOARCHITECT.COM

NEW HOUSE FOR:

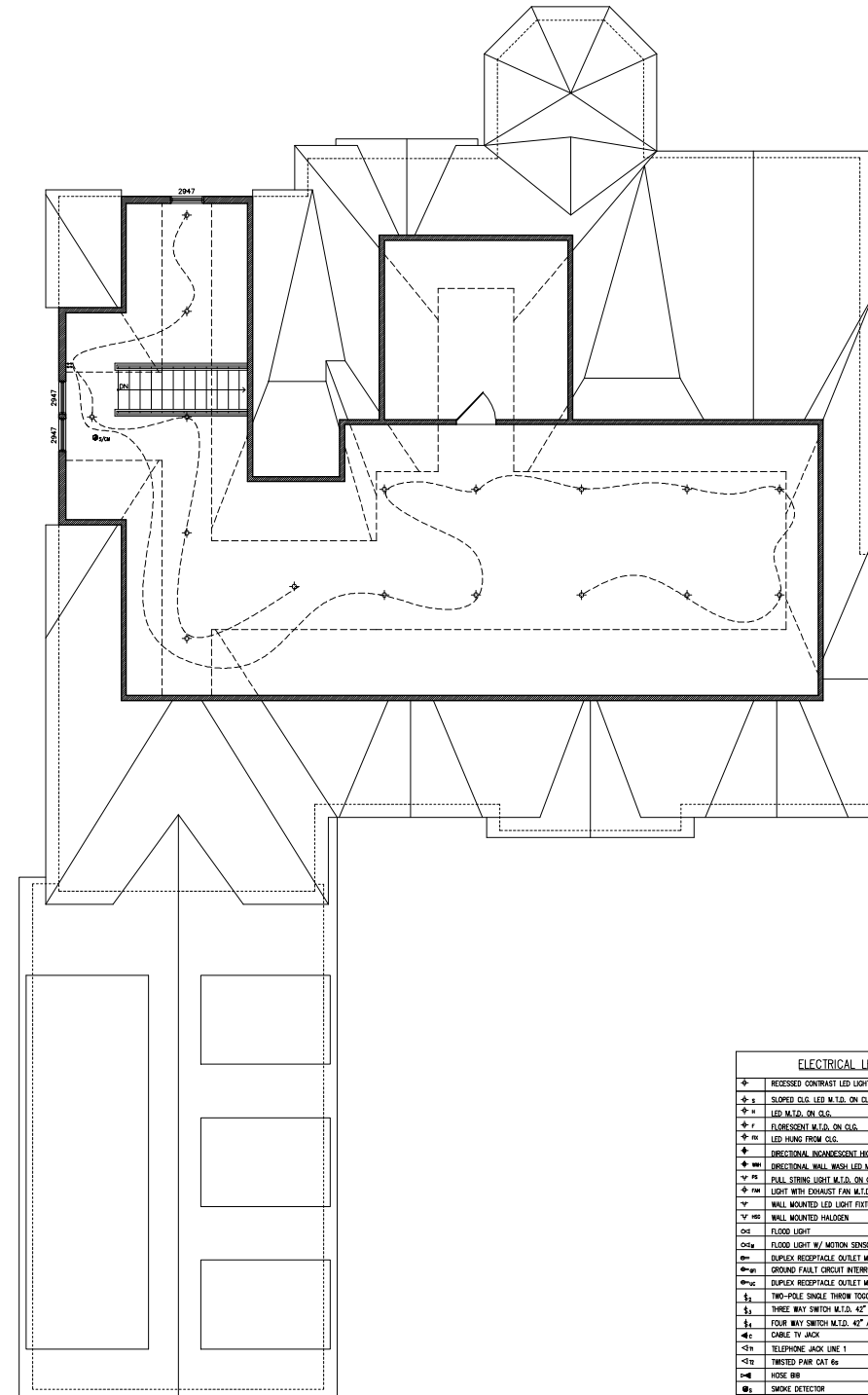
DESIGNED BY: KJS  
 CHECKED BY: [Signature]  
 DATE: 10.08.2015  
 SCALE: AS NOTED  
 DWG: ELECTRICALS  
 JOB NO: 15-041

**E-1**

DWG 8 OF 12



1 SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



2 ATTIC ELECTRICAL PLAN  
1/4" = 1'-0"

ELECTRICAL LEGEND	
◆	RECESSED CONTRAST LED LIGHTING
◆ s	SLOPED CIG. LED M.T.D. ON CIG.
◆	LED M.T.D. ON CIG.
◆	LED M.T.D. ON CIG.
◆	FLUORESCENT M.T.D. ON CIG.
◆	LED RECES. FROM CIG.
◆	DIRECTIONAL INCANDESCENT HIGH HAT M.T.D. ON CIG.
◆	DIRECTIONAL WALL WASH LED M.T.D. ON CIG.
◆	FLUO. STRING LIGHT M.T.D. ON CIG.
◆	LIGHT WITH EXHAUST FAN M.T.D. ON CIG.
◆	WALL MOUNTED LED LIGHT FIXTURE
◆	WALL MOUNTED HALOGEN
◆	FLOOD LIGHT
◆	FLOOD LIGHT W/ MOTION SENSOR
◆	DUPLEX RECEPTACLE OUTLET M.T.D. 18" A.F.F.
◆	GROUND FAULT CIRCUIT INTERRUPTER
◆	DUPLEX RECEPTACLE OUTLET M.T.D. UNDER COUNTER
◆	TWO-POLE SINGLE THROW TOGGLE SWITCH M.T.D. 42" A.F.F.
◆	THREE-WAY SWITCH M.T.D. 42" A.F.F.
◆	FOUR-WAY SWITCH M.T.D. 42" A.F.F.
◆	CABLE TV JACK
◆	TELEPHONE JACK LINE 1
◆	TESTED PAIR CAT 6e
◆	HOSE BIB
◆	SMOKE DETECTOR
◆	CARBON MONOXIDE DETECTOR

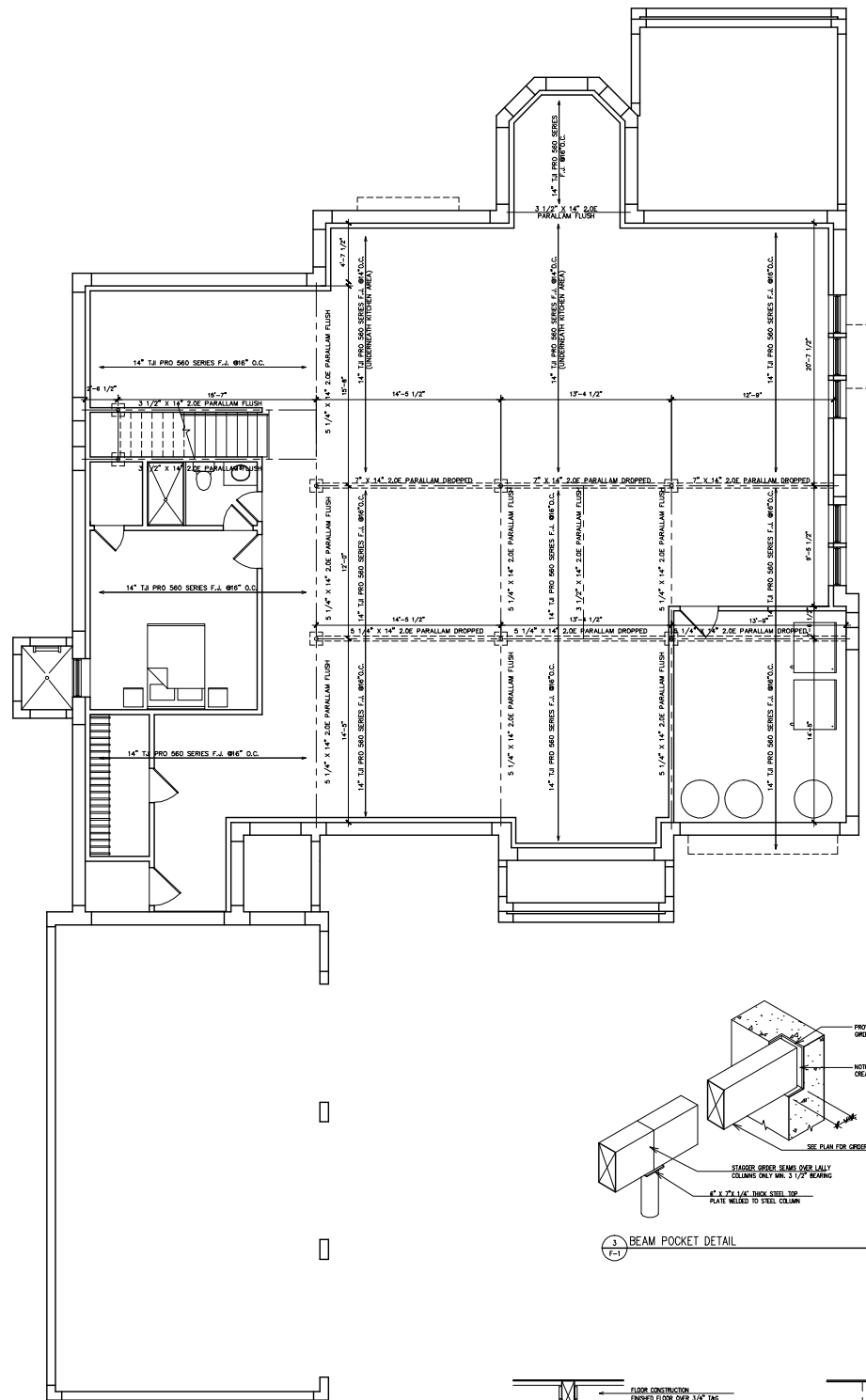
CONSTRUCTION LEGEND	
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE REMOVED
---	NEW 4" CMU WALLS TO BE CONSTRUCTED
---	NEW 12" CMU WALLS TO BE CONSTRUCTED
---	NEW 2x4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-13 F. EXTERIOR
---	NEW 2x4 WALLS TO BE CONSTRUCTED, INSULATE WITH R-19 F. EXTERIOR
---	NEW 2x4 WOOD POST UNLESS OTHERWISE NOTED

PORTABLE PROPERTIES LLC  
 105 FARLEY ROAD, SHORT HILLS, NEW JERSEY 07078 LOT: 2209 BLOCK: 7  
**THOMAS BAIO ARCHITECT P.C. AIA**  
 400 HICKORY AVENUE  
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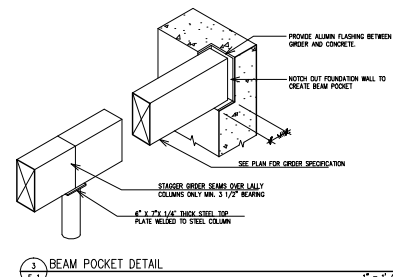
NEW HOUSE FOR:

DESIGNED BY: KJS  
 CHECKED BY: TB  
 DATE: 10.08.2015  
 SCALE: AS NOTED  
 DWG NO: E-2  
 JOB NO: 15-041

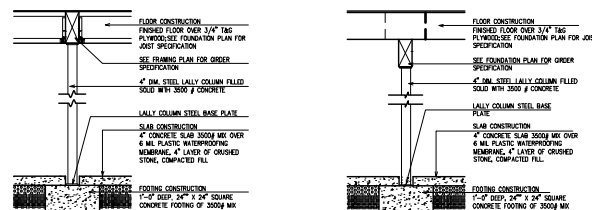
E-2  
 DWG 7 OF 12



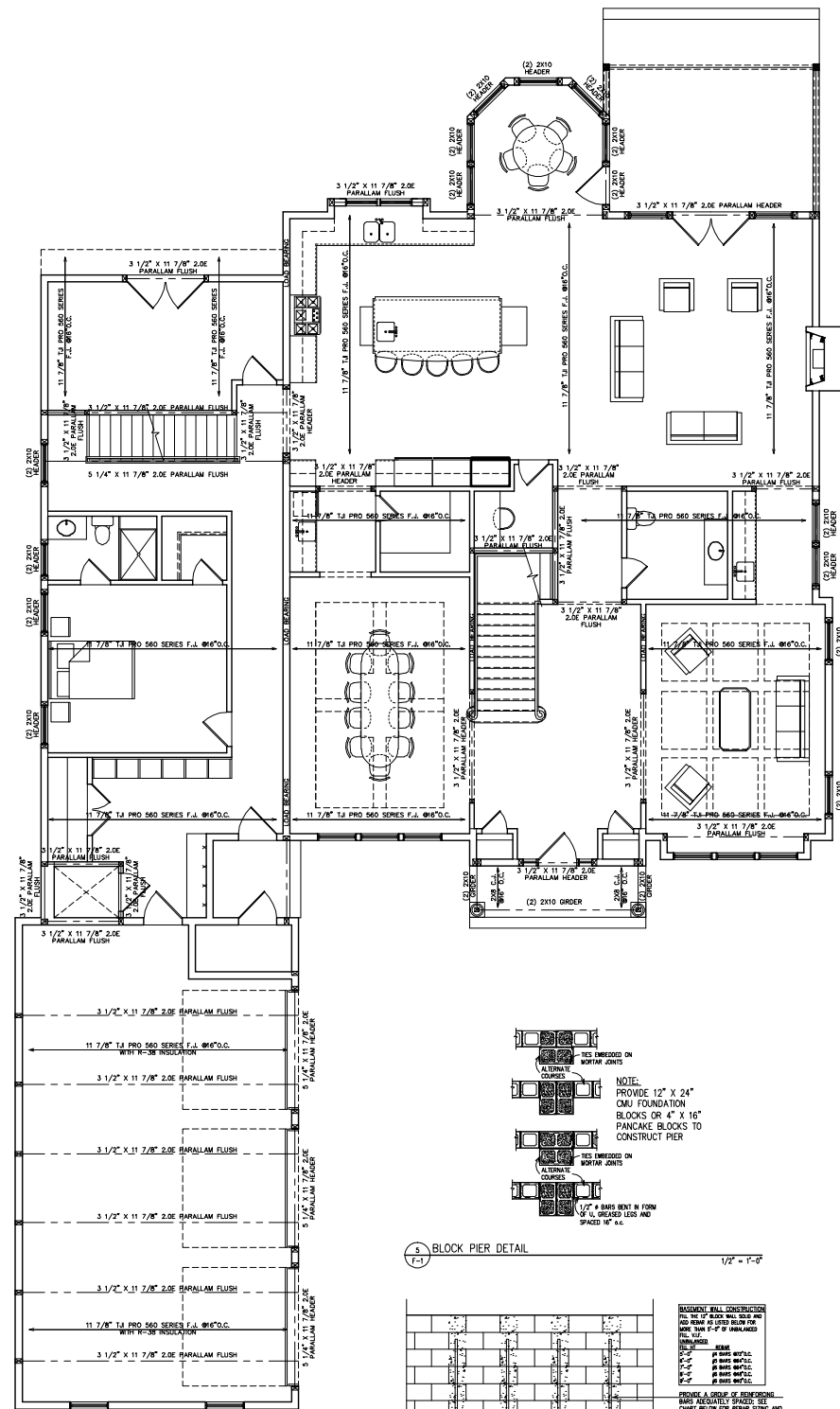
1 FOUNDATION FRAMING PLAN 1/4" = 1'-0"



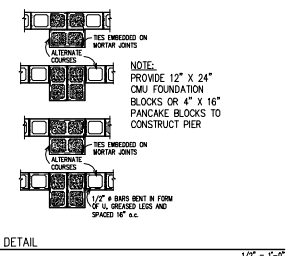
3 BEAM POCKET DETAIL 1" = 1'-0"



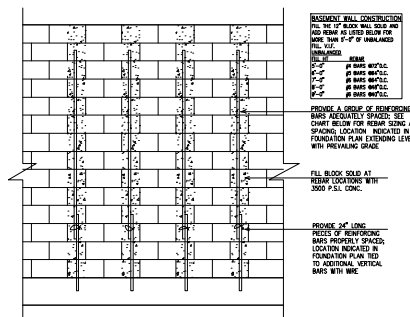
4 FLUSH AND DROP BEAM ON LALLY DETAIL 1/2" = 1'-0"



2 FIRST FLOOR FRAMING PLAN 1/2" = 1'-0"



5 BLOCK PIER DETAIL 1/2" = 1'-0"



6 VERTICAL REBAR DETAIL 1/2" = 1'-0"

CONSTRUCTION LEGEND	
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING WALL TO BE REMOVED
[Symbol]	NEW 8" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 12" CMU WALLS TO BE CONSTRUCTED
[Symbol]	NEW 2-1/4" WALLS TO BE CONSTRUCTED, INSULATE WITH R-13 F EXTERIOR
[Symbol]	NEW 2-1/4" WALLS TO BE CONSTRUCTED, INSULATE WITH R-19 F EXTERIOR
[Symbol]	NEW 2-1/4" WOOD POST UNLESS OTHERWISE NOTED





